

Nautilus Village

A decorative flourish or scrollwork element is positioned below the bottom line of the text.

ARCHITECTURAL DESIGN GUIDELINES



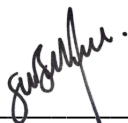
07 June 2022

ARCHITECTURAL DESIGN GUIDELINES

The following pages outline the official Architectural Design Guidelines for Nautilus Village in Gustrouw road, Gordon's Bay, Western Cape.

We, the trustees, hereby confirm that this document constitutes all Architectural Design Guidelines as approved by the Nautilus Village Board of Trustees.


Signed on behalf of the Home Owner's Association following the AGM held on the 7th of June 2022, where amendments were approved by the owners.



Signature

Beyers van der Merwe

Trustee 1: Name & Surname



Signature

Jacques Maree

Trustee 2: Name & Surname

1. INTRODUCTION

The purpose of the Architectural Design Guidelines is to provide architects and property owners with a framework within which structures can be designed with a harmonious style and integrated aesthetic standard.

To this end, building forms and materials have been stipulated to promote a sense of uniformity, but at the same time to allow flexibility.

2. GENERAL NOTES

No building structure may be built unless the architectural design is compliant to these guidelines and has been approved by the Home Owners Association or its nominated architects.

A resident architect could yearly be appointed by the Trustees on a year to year basis should it be necessary, or a person to act as resident architect to assist the Home Owners Association on its behalf with approvals of design proposals.

A drawing scrutiny fee, as agreed between the Home Owners Association and its nominated architect, is payable to the nominated architect for this service, by the owner of an erf upon which construction is to take place. The scrutiny fee will only apply to major and minor building works where the municipality requires a building plan to be submitted. The scrutiny fees for minor building work, that require a plan, will be half of that of the major building work scrutiny fees.

In matters where the Architectural Design Guidelines do not address a design proposal, or a difference of opinion regarding interpretation exist, the nominated architects will make a recommendation to the Trustees in this regard who shall make a ruling, decided by a majority trustee vote either through electronic means or at a trustee meeting, which will be binding and final.

Any future building alterations by a homeowner will also be subject to the criteria and procedures established within the Architectural Design Guidelines.

No deviation from the approved plans will be permitted during construction. Deviations which may affect the aesthetics of the building must be approved by the nominated architects first.

The Architectural Design Guidelines are supplementary to the National Building Regulations and requirements of the Local Authority.

No more than two erven may be consolidated, i.e. one house on two erven.

3. BUILDING ENVELOPE

The building envelope shall consist of the main dwelling structure, which is defined as the primary structure, with enclosed flat-roofed extensions to the primary structure. Free-standing buildings and garages will complete the building envelope elements.

Definition of a building envelope: a building envelope is the physical separator between the conditioned and unconditioned environment of a building including the resistance to air, water, heat, light, and noise transfer.

3.1. Primary Structure

A primary structure shall be of a singular rectangular form or a composite of rectangular forms. It must be constructed with bricks and be plastered and painted. No face brick structures will be allowed.

Refer to Figure 1.

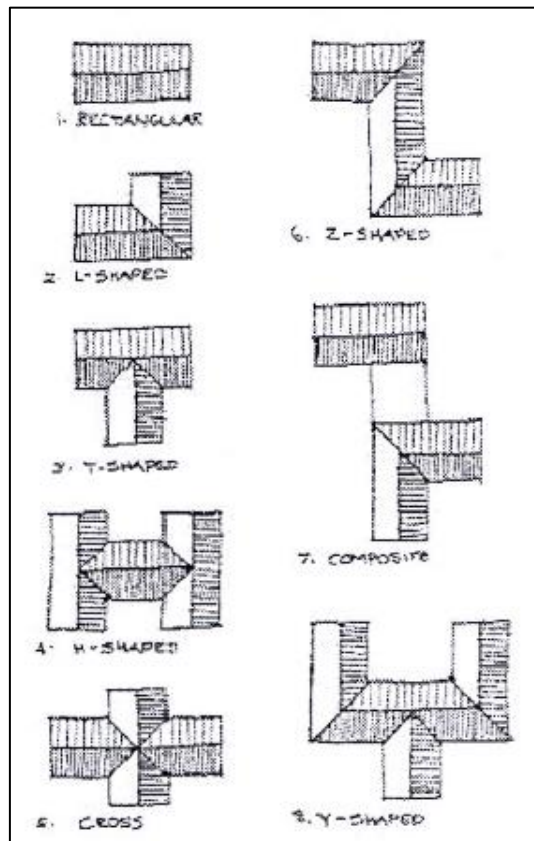


Figure 1: Primary Structures

3.2. Enclosed extensions to the primary structure

To create larger floor plans (living areas) than those which restrictions to the dimensions of a primary structure would allow, the plan form may be extended in various combinations by the use of enclosed extensions.

These enclosed extensions to primary structures must be rectangular or square and must be plastered and painted. An enclosed extension is defined as a new room (closed) which is added to an existing building.

Enclosed extensions may not be built onto the gable end of a primary structure, because the gable end can be extended to accommodate the extra floor space required (unless non-street facing), and it may not be built onto a Garage or Freestanding building.

Refer to Figure 2.

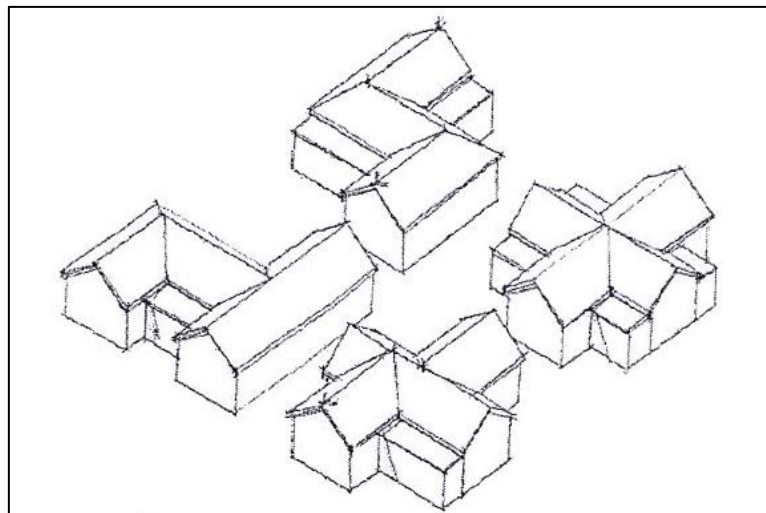


Figure 2: Enclosed extensions to Primary Structures

3.3. Free-standing Buildings and Garages

The use of free-standing buildings must abide to the City of Cape Town bylaws in regards to Single residential zones range (SR1), and where meeting these requirements, may be used as a "granny flat" (also known as an accessory apartment or accessory dwelling unit).

Free-standing buildings and Garages may only be single storey and have a maximum size of 70m² measured to the outside of the walls. The walls must be plastered and painted.

4. ADDITIONAL ATTACHMENTS/EXTENSIONS

4.1. Awnings ("afdakke")

Awnings is defined as a sheet of canvas or other material stretched on a frame and used to keep the sun or rain off a window or doorway. These must be cantilevered (may not be supported by columns).

Awnings of any material, fixed retractable or otherwise, may not be mounted to, or above, any window or door facing the street. Such an awning may not be reflective.

4.2. Verandas / "stoeps"

A veranda / "stoep" is defined as a roofed platform along the outside of a house, level with the ground floor.

A veranda / "stoep" may be allowed to join enclosed extensions, with the following restrictions: all sides not joined to an existing structure (enclosed extensions or primary structure) has to be exposed to the elements, i.e. open. Verandas / "stoeps" must be supported by columns, prescribing to the general rules for columns as defined further in the Architectural Design Guidelines. A maximum of one column per running 2.5 meters will be allowed.

4.3. Pergolas

A pergola is defined as an arched structure in a garden or park consisting of a framework covered with climbing or trailing plants.

Freestanding pergolas in a garden may be entirely built with wood. Where pergolas are joining any structure in the building envelope, it needs to be supported by columns. Where a pergola is installed at ground level, the columns are to prescribe to the general rules for columns as defined elsewhere in the Architectural Design Guideline. Where a pergola is installed above ground level, the columns may be in the form of square wooden posts (see fig. 10, 11, 12 and 13). The wood has to be varnished and coloured dark oak.

Pergolas may not be covered with roof sheeting. Where shade is required, the pergola may be covered with climbing or trailing plants. Bamboo, reeds, shade cloth or canvass may also be used, but must be hidden behind barge boards.

5. BUILDING DIMENSIONS

5.1. Building Width

The building width of a primary structure shall be 3500mm minimum and 7500mm maximum, measured to the outside of the walls. The total minimum building size of the primary structure will not be less than 72.1m², excluding garage/s, which will not be less than 39.0m².

Refer to Figure 3.

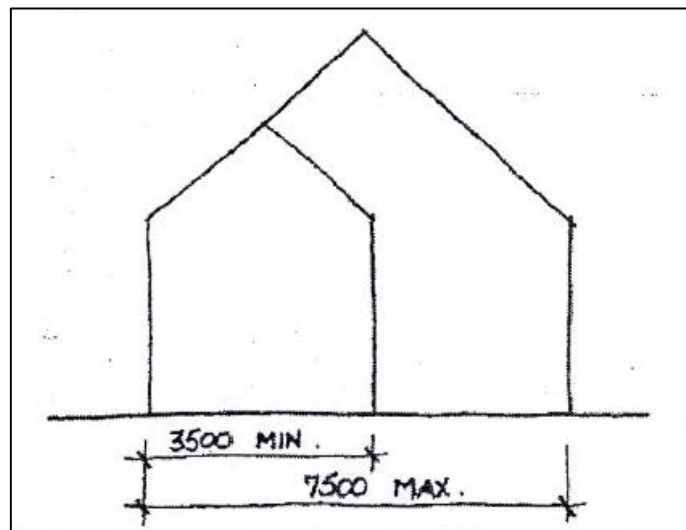


Figure 3: Building Width of a Primary Structure

The width of an enclosed extension to a primary structure may not exceed 5000mm, measured from the outside of the primary structure. Garages and carports may not exceed 6500mm.

The width of a veranda / "stoep" may not exceed 5000mm from the outside of the primary structure, free-standing building or enclosed extension that it is adjacent to.

Refer to Figure 4.

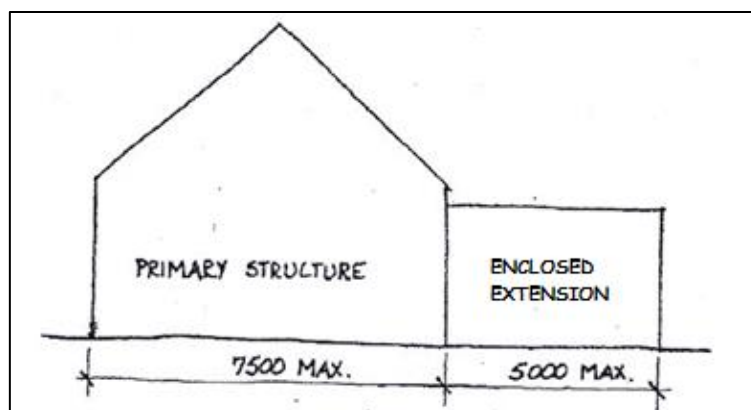


Figure 4: Building Width and enclosed extensions

5.2. Building Height

5.2.1. Primary Structures

The wall plate height shall be at 3200mm minimum and 5900mm maximum, at primary structures, measured from finished floor level.

Refer to Figure 5.

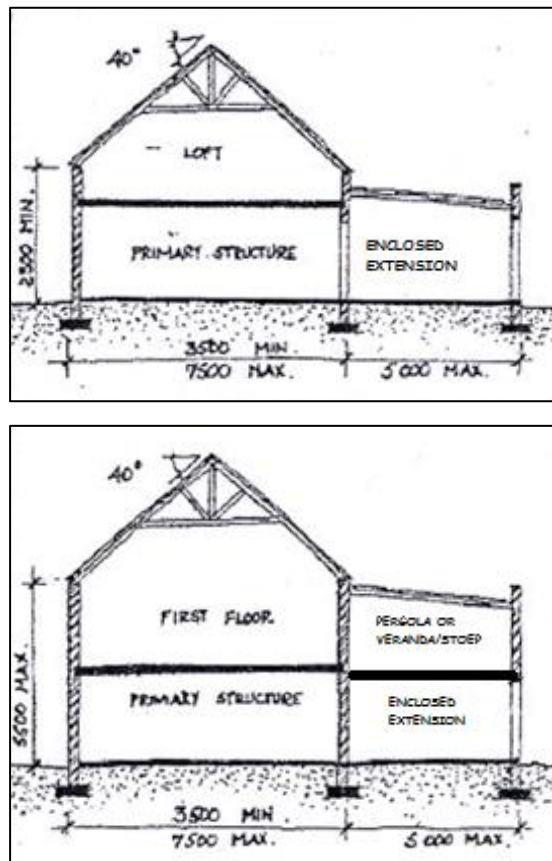


Figure 5: Wall Plate Height of a Primary Structure

5.2.2. Height of enclosed extensions, verandas/"stoeps"

These roofs must be lower than the roof of the primary structure to which it attaches. Where double storey extensions are considered, the double storey section may not be enclosed. It may only be either a pergola or veranda.

5.3. Building and Boundary Lines

The building and boundary lines of the structures contained in the building envelope will follow that of the municipal by-laws for SR1, as at the time of applying to build.

5.3.1. Garage building lines

Where the municipality allows garages to be built on boundary lines, the HOA will not allow two garages from neighbouring erfes to be joined. There has to be at least a 1500mm gap between the two garages from neighbouring erfes.

5.3.2. Primary structure building lines

The aesthetic in the complex allows for a primary structure to be no closer than 1500mm to a boundary line.

6. ROOFS

6.1. Roofs to Primary Structures

Only double pitched roofs are allowed on primary structures. This roof pitch must be 40°. All double pitched roofs must be symmetrical at the gable ends and about their ridges.

Gable walls must project above the roof surface as parapets.

Fascia's must be painted white or with the frames colour of the chosen colour range.

Roofs of primary structures must have clipped or flush eaves with a fascia along the roof edge running the length of the longitudinal side of the building.

6.1.1. Roof Material for Primary Structures

Primary structures to be roofed with corrugated S-profile metal roof sheeting with charcoal grey pre-painted finish only.

6.1.2. Gutters and Downpipes

Only marble white or charcoal grey pre-painted Ogee shape seamless aluminium gutters are permitted. Downpipes are to be 70-75mm diameter PVC or aluminium painted to match the colour of the walls.

6.2. Roofs to Free-standing Buildings and Garages

Only flat roofs with minimum gradient falls with parapet walls on all sides and internal box gutters will be allowed for free-standing buildings and garages. For the purpose of these guidelines, a flat roof shall be one with a gradient of between 1° and 8°.

6.2.1. Roof Material for Flat Roofs

Flat roofs may be constructed of any non-reflective material inclusive of painted metal roof sheets.

Curved Victorian style roofs are not permitted.

6.3. Roofs to Enclosed Extensions, Verandas / "Stoeps" and Carports

The roof of an enclosed extension, carport and veranda / "stoep" may only be a flat roof with a gradient of between 1° and 8° and must be contained behind parapet walls, on all sides not attached to the primary structure, with an internal box gutter.

Carports and verandas / "stoeps" may employ metal roof sheets, which are to comply with the general rules for roofs for free-standing buildings and garages, or these roofs may consist of shade cloth or canvas hidden behind barge boards or parapet walls.

"Broekie Lace" details are not permitted.

6.4. Conservatory Structures

No conservatory structures will be allowed.

6.5. Skylights and Rooflights

Skylights and rooflights may not project higher than the parapet walls of the enclosed extension in which it is placed.

6.6. Shade Cloth and Canvas

Shade cloth may only be used at carports, pergolas and veranda / "stoeps" and must be hidden behind barge boards or parapet walls. Only charcoal grey shade cloth is permitted.

A combination of Canvas and clear PVC roll-up blinds may be used at verandas/"stoeps", to provide temporary protection from the elements in the openings. The borders portion of the blind (canvas) is to match the column width of the veranda/"stoep".

Where canvas is used, the colour must be either "Sand", "Beige" or "Dove grey", whichever is the best match to the colour of the structure it is attached to.

6.7. Roof Windows

Roof windows must be set into the plane of the roof and have a vertical proportion where the width is equal to or less than the height of the window.

6.8. Dormer Windows

Dormer windows and doors may be used in the primary structure roofs and may not project past the vertical face of the wall into which it is set.

The roof pitch of dormer windows must be 40°.

Dormer windows and doors to match the colour of the windows of the house.

The sides of a dormer or “cheek” to match the roof sheeting of the house.

Refer to Figure 6.

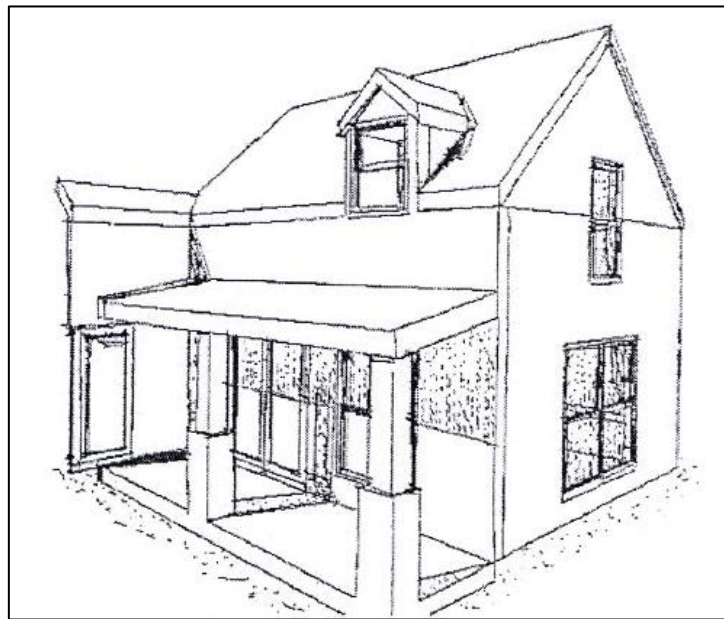


Figure 6: Dormer Window

6.9. “French” Dormers

“French” dormers may be used, but must be located at least 1000mm away from the gables.

Refer to Figure 7.

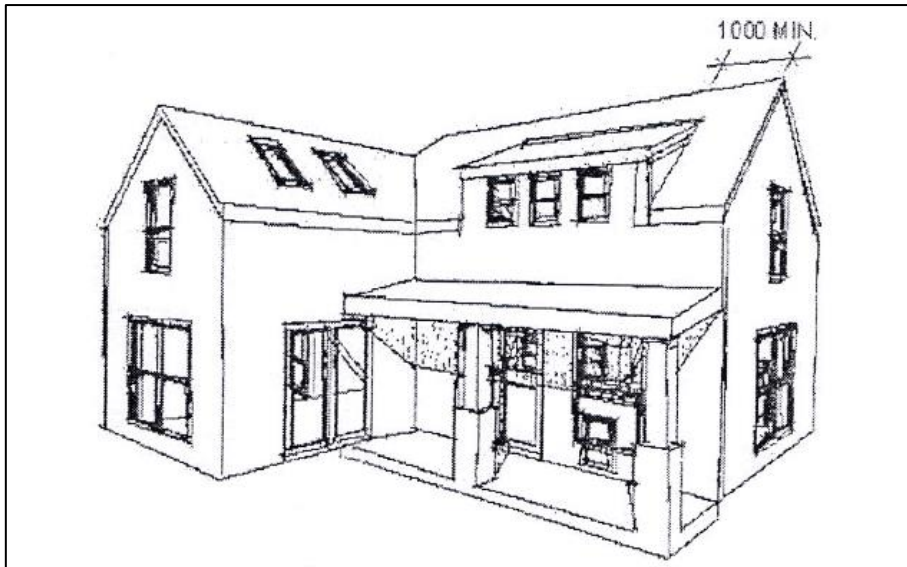


Figure 7: French Dormer

7. VENTILATOR / CLERESTORY WINDOWS

Clerestory windows may be placed under the eaves and above the ground floor windows.

These windows must have a horizontal proportion, where the width is equal to or greater than the height of the window.

The top of a clerestory window may not be curved (as incorrectly indicated in the sketch).

Refer to Figure 8.

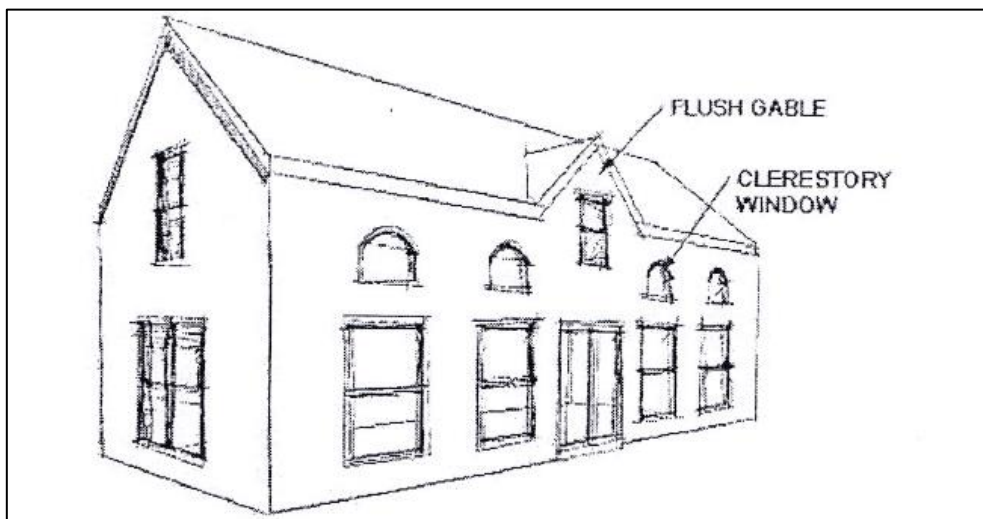


Figure 8: Clerestory Windows

8. GABLES AND GABLE WINDOWS

The gable end walls of primary structures create the opportunity for the use of gable windows.

These windows must be rectangular, and the width may not exceed 1250mm.

Only one window or door may be incorporated in a gable in the section of wall above the ground floor ceiling height. In the case of a door the width may not exceed 1750mm. This door or window must be centred over the middle of the gable.

If a chimney is placed in the centre of a gable, two gable windows are allowed, one on either side of the chimney. The width of these windows may not exceed 900mm.

The top of the gable end walls must consist of straight and simple lines and may not have rounded element. Copies of Cape Dutch gables are not allowed.

8.1. Flush Gables

Flush gables may be used to position a window or door above the ground floor ceiling height. This window or door has to be centred over the middle of the gable.

Refer to Figure 8.

The height of a flush gable, as measured from the top of the eaves, may not be less than two thirds of the height of the roof, as seen on elevation and the height of the wall plate may not be more than that of the primary structure.

9. BALCONIES

Balconies may not be built on free-standing buildings, garages or enclosed extensions, except on an enclosed extensions which is not visible from the street.

Any visible sides of slabs, or brickwork, must be plastered and painted to match the wall surface to which it attaches.

The following balconies are allowed:

9.1. Type A

The slab may protrude a maximum of 200mm from the exterior face of the building, and the width of the balcony may not exceed 1900mm.

A handrail must be fixed to the side or onto the top of the entire slab.

Refer to Figure 9.

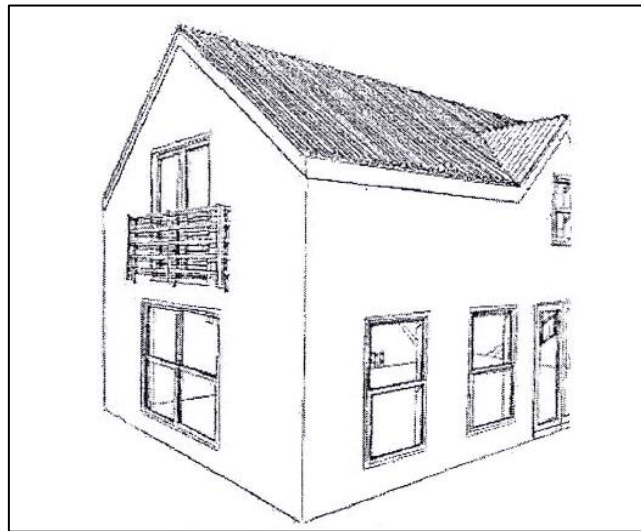


Figure 9: Type A Balcony

9.2. Type B

The slab may protrude a maximum of 1000mm from the exterior face of the building, and the width of the balcony may not exceed 3000mm.

A handrail must be fixed onto the side or top of the entire slab.

This balcony can be supported by “gallows” brackets, columns or may cantilever past the face of the building.

Refer to Figure 10.

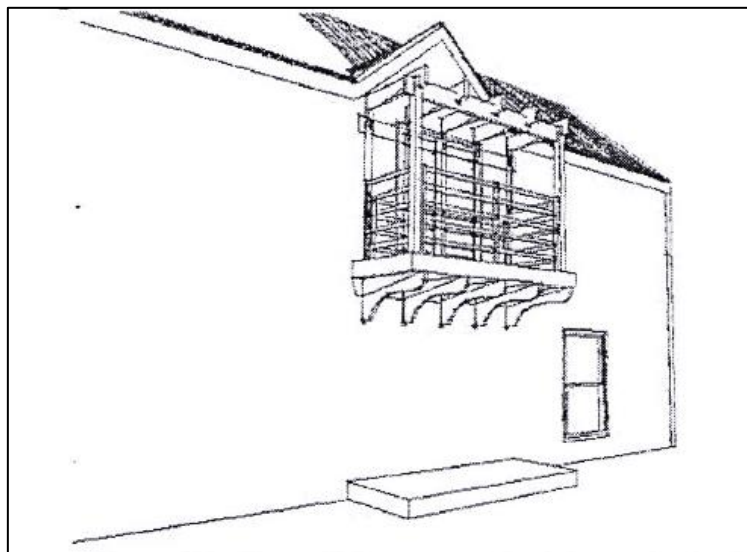


Figure 10: Type B Balcony with Gallows Brackets

9.3. Type C

This is a balcony in front of a gable end or in front of a flush gable.

The slab may protrude a maximum of 3500mm from the exterior face of the building, and the width may not exceed the width of the gable to which it is attached.

A handrail must be fixed to the top or on the side of the entire slab.

Refer to Figure 11.

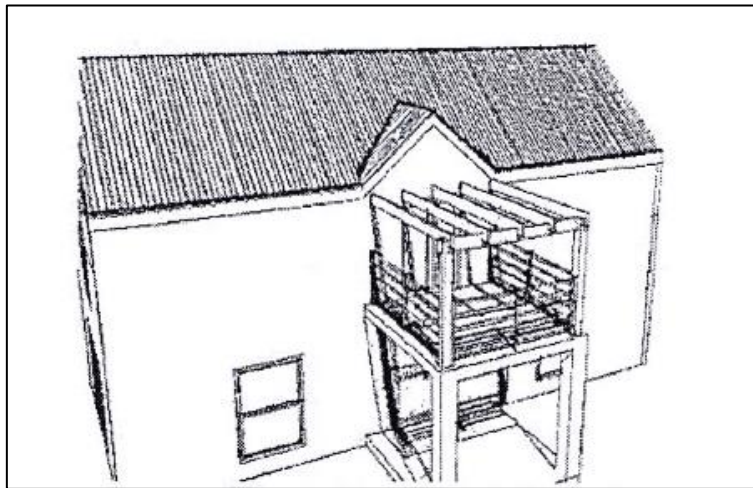


Figure 11: Type C Balcony

9.4. Type D

This is a balcony attached to the longitudinal side of a primary structure. The slab may protrude a maximum of 3500mm from the exterior face of the building, and the width of the balcony may not project past the ends of the primary structure to which it is attached.

A handrail must be fixed onto the side or top of the entire slab.

This balcony must terminate at the side of a flush gable or be constructed along the entire longitudinal side of a primary structure if that side of the primary structure is provided with a flush gable.

Refer to Figure 12.



Figure 12: Type D Balcony

9.5. Type E

This is a larger sized balcony and the slab may not project past the primary structure a greater distance than 4000mm at any side attached to the primary structure.

A handrail must be fixed onto the side or top of the entire slab.

Refer to Figure 13.

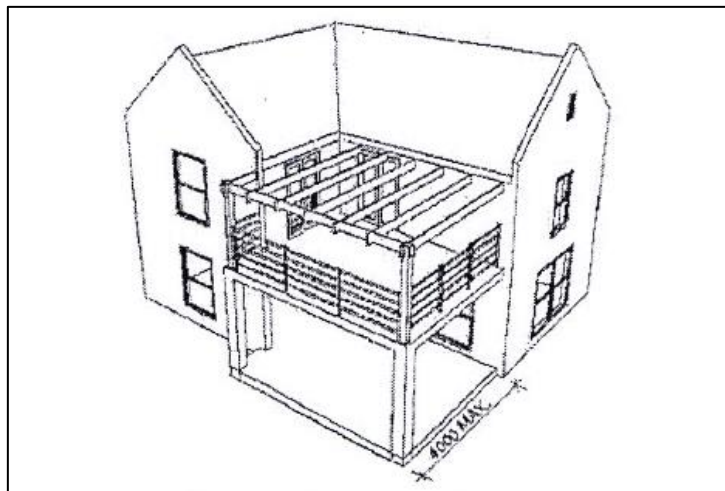


Figure 13: Type E Balcony

10. BALUSTRADING / HANDRAILS

The following conditions apply to handrails and balustrading:

- The height of the top of all handrails or balustrades, including those mounted on brickwork, must be 1050mm above the finished floor of the balcony slab.
- Varnished hardwood is acceptable and does not require painting.

- A simple horizontal or vertical grid pattern must be used.
- Hardwood, mild steel tubing, aluminium, high tension cables, stainless steel and glass in frames is acceptable.

11. BUILDING PLATFORM

Buildings on slopes must be designed with stepped levels in response to the slope of the site or on stepped building platforms.

12. RETAINING STRUCTURES

Vertical retaining structures on all boundaries must be plastered and painted brickwork or painted concrete blocks.

Stacked retaining systems will only be allowed if they are not visible from the streets.

13. GARAGES AND CARPORTS

A double garage must comprise two single garage doors 2440mm wide next to each other separated by a 270mm - 470mm wide brick column, plastered and painted.

Alternatively, a double garage door of 4950mm wide may be used.

No pre-fabricated garages will be permitted.

All plans must indicate at least one enclosed double garage and this must be built in conjunction with the original dwelling.

A garage may not have curved parapet walls.

Garage doors to be either varnished hardwood (coloured dark-oak) or Aluzinc/Aluminium doors with colour to match windows. Simple linear panels only, no ornate panelled garage doors will be permitted. No roll-up doors will be allowed.

A carport may be built for one or two vehicles and may be detached or attached to a garage, but not in front of a garage.

Carports to be supported by columns that prescribe to the general rules for columns as defined further in this document.

14. COLUMNS

Columns to verandas / "stoeps", pergolas and carports to be square and may not be less than 360mm x 360mm and may not be more than 470mm x 470mm.

If a base is employed, the base may not be higher than one third of the height of the column.

No copies of the Greek or Roman orders are permitted.

15. BOUDARY AND YARD WALLS

No vibracrete or pre-cast systems or pre-manufactured walls will be acceptable. Boundary walls have to be plastered and painted or bagged and painted.

Kitchen yards and service yards have to be enclosed with a wall of 1800mm height.

Boundary walls not to exceed 1800mm in height.

All boundary walls to incorporate a saddle coping.

All free-standing ends of walls must terminate in square columns 440mm x 440mm with saddle copings.

All free-standing walls must incorporate columns and such columns must be square and plastered. Columns must be equally spaced but should not be more than 2500mm apart.

16. GATES

Gates may be constructed of wrought iron, steel or timber or a combination of these materials. Timber to be varnished and coloured dark-oak. Metal to be painted charcoal grey. Predominantly linear patterns must be used.

17. EXTERNAL WALLS

External walls must be plastered and painted.

Marmoran, Cemcrete, Earthcote, Stucco and similar products will be acceptable, but has to be in accordance with the required colour schemes as defined further in this document.

Clap boarding / lap boarding will not be allowed.

Simple articulated plaster bands must be used as door or window surrounds. These plaster bands must have a minimum width of 120mm and a maximum width of 200mm.

Plaster bands must be used as horizontal elements around parapet walls to enclosed extensions, verandas / "stoeps", carports, freestanding buildings and Garages. These plaster bands must be as per Figure 14.

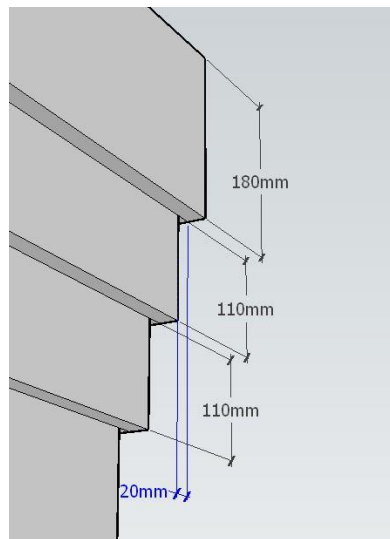


Figure 14: Plaster bands

Quoining plaster bands at the end of walls will not be allowed. Tuscan design will not be acceptable.

No face brick work will be permitted.

18. WINDOWS

Only windows where the vertical dimension exceeds the horizontal are allowed. The only windows where this rule is reversed, is at clerestory windows and non-street facing kitchen windows.

Windows have to be arranged symmetrically over the centre of a gable.

Winblock or other pre-cast concrete windows, glassblock windows, or leaded windows with diamond patterns are not permitted.

Coloured glass is not permitted in any window or door facing the street.

No bay windows will be allowed.

Windows may only be bronze or charcoal grey aluminium.

No mirror glass will be allowed.

19. DOORS

Front doors to be either varnished timber and coloured dark oak or aluminium in chosen window colour similar in design to Swartland PD11 1210 happy door.

Where any door, sliding, folding or otherwise, is fitted to openings exceeding 1750mm in width, it is recommended that it be placed behind a veranda / "stoep" or pergola of at least 1000mm depth.

20. SHUTTERS

No shutters, i.e. false or functional, are permitted.

21. CHIMNEYS AND BRAAI'S

The design of chimneys is in the discretion of the architects, but simple rectangular shapes are preferred.

Chimneys must be plastered and painted to match the walls of the house.

22. SWIMMING POOLS

Above ground pools ("Porta Pools") will only be allowed if not visible from the street.

23. SERVICES

23.1. Television Aerials and Satellite Dishes

Television aerials and satellite dishes must be fitted below the primary structure eaves line.

Satellite dishes must be of a white composite material.

Radio HAM aerial structures will not be allowed.

23.2. Sewer-, Vent- and Air Conditioning Pipes

These must be concealed in vertical ducting within the wall plane of the building.

23.3. Air Conditioning Units

Air conditioning condenser units may not be mounted on exterior walls where the top of a condenser is more than 1200mm above finished ground level. The exception is where it needs to be installed above an enclosed extension, to reach a second storey room, where it may be hidden behind parapet walls. Where mounted on a balcony, it should be hidden behind a slotted box, which must look like a bench on the patio.

Where it is not possible to place air conditioning pipes in the vertical ducting within the wall plane, it should be placed in trunking and painted to match the colour of the wall.

Window mounted air conditioning units are not permitted.

23.4. Gas Cylinders, Refuse Bins and Clothes Lines

These must be located within service yards.

23.5. Solar Heating Hot Water System Panels

Combined tank and solar panels are not allowed. Remote tank and solar panels must be used. Any remote equipment must be located within the house structure, or within service yards and not be visible from the street.

23.6. Rainwater Tanks

The size, siting and type of all rainwater tanks will be subject to review. Written permission will have to be obtained from the HOA before installation.

24. EXTERNAL LIGHTING

External lighting in bollards or on masts may not be higher than 1200mm above finished ground level.

External lights on walls may not cause glare in adjoining properties and should preferably face downwards.

Motion triggered security lights will be permitted, as long as it does not cause a nuisance to neighbouring properties.

No coloured bulbs to light fittings are permitted.

25. LANDSCAPING

Hard landscaping surfaces, i.e. brick paving, tiling, decks etc. around houses will not be permitted to cover the entire site.

Water saving landscaping is encouraged, however cumulative paving shall not cover more than 25% of each erf's area and a minimum of 25% of each erf must be soft landscaping. Soft landscaping includes landscape elements that do not involve construction, e.g. lawn, gravel, turf, trees and shrubs. Artificial grass will also be considered soft landscaping.

No wendy houses, tools sheds, aviaries or suchlike are permitted on any erf, if visible from the outside.

Gardens are to be kept tidy at all times, and erven upon which no structures have yet been built must be kept clean of trees, weeds or any other rubbish.

26. DRIVEWAYS

Driveways may only be constructed in grey rectangular brick paving (bond pavers).

27. POST BOXES

Post boxes preferably to be "slot in the wall" type and may not be free-standing or boxes perched on top of walls. "Slot in the wall" may also mean and be mounted in the garage door.

28. PETS

Poultry, pigeons, aviaries, wild animals or livestock may not be kept as pets.

29. COLOURS

All surfaces for painting must be properly prepared.

All exterior building walls may only be painted with one of the following colour ranges:

Range 1

Primary Colour	Main Colour	Secondary Colour	Frames Colour
Polvin Deep	Polvin Pastel	Polvin Pastel	Polvin Pastel
E12-5	E12-4	E12-3	E12-1
Flack Expressions	Munch Expressions	Carling Expressions	Canson Expressions
Mixing recipes for a 1 litre sample:			
PC= 2.50	PC=3.50	PC=4.50	PH=0.50

PH=6.00 PL=40.00 PK=27.50	PI=3.00 PL=29.50	PJ=6.50 PL=10.50	PL=2.40 PQ=1.00
---------------------------------	---------------------	---------------------	--------------------

Range 2

Primary Colour	Main Colour	Secondary Colour	Frames Colour
Polvin Pastel	Polvin Pastel	Polvin Pastel	Polvin Pastel
E14-5	E14-4	E14-3	E14-1
Sombrero Expressions	Mayan Stone Expressions	Papyrus Expressions	Liberia Expressions
Mixing recipes for a 1 litre sample:			
PB=14.80	PC=5.0	PB=2.00	PC=1.60
PC=21.00	PJ=3.50	PC=3.50	PD=0.50
PF=3.50	PL=23.00	PH=2.50	PI=1.10

Range 3

Primary Colour	Main Colour	Secondary Colour	Frames Colour
Polvin Pastel	Polvin Pastel	Polvin Pastel	Polvin Pastel
E15-5	E15-4	E15-3	E15-1
Plattsville Expressions	Burwell Expressions	Dundas Expressions	Docside Expressions
Mixing recipes for a 1 litre sample:			
PB= 11.50	PB=9.00	PB=3.00	PL=0.80
PC=11.00	PC=9.00	PC=4.00	PQ=1.00
PF=2.00	PF=1.50	PH=2.50	
PK=52.50			

Range 4

Primary Colour	Main Colour	Secondary Colour	Frames Colour
Polvin Pastel	Polvin Pastel	Polvin Pastel	Polvin Pastel
E16-5	E16-4	E16-3	E16-1
Tent Expressions	Neutral Expressions	Mayor Expressions	Eyelet Expressions
Mixing recipes for a 1 litre sample:			
PB=20.00	PB=0.50	PC=3.00	PL=2.70
PC=13.50	PE=1.00	PE=4.00	PQ=0.60
PF=1.50	PL=25.50	PG=8.00	

The main structure may only be painted with either the Primary, Main or Secondary colour and Frames Colour may only be used for frames around doors and windows.

Boundary walls and yard walls may be painted the same colour as the main structure or alternatively with any of the remaining colours in the chosen range.

Please note!! Only one range may be used.

30. BURGLAR BARS AND SECURITY GATES

Only internally mounted burglar bars and expanding metal screens will be allowed. Simple liner patterns of predominantly vertical rather than horizontal nature only, purpose made to suit the dimensions of the window or door, may be used. No trellis doors fitted on the outside will be allowed.

31. BUILDING PLAN SUBMISSION

Four sets of working documentation must be submitted to the nominated architects.

These drawings/Building Plans should be submitted as per local authority guidelines, which is currently required in electronic format.

The scrutiny fee for these drawings will be as negotiated between the Association and the resident architect/s. Payment to the resident architect/s must accompany each submission.

The local authority will not accept any drawings for submission if it has not been approved and stamped by the nominated architect/s and Home Owners Association prior to submission.

--oo0oo--